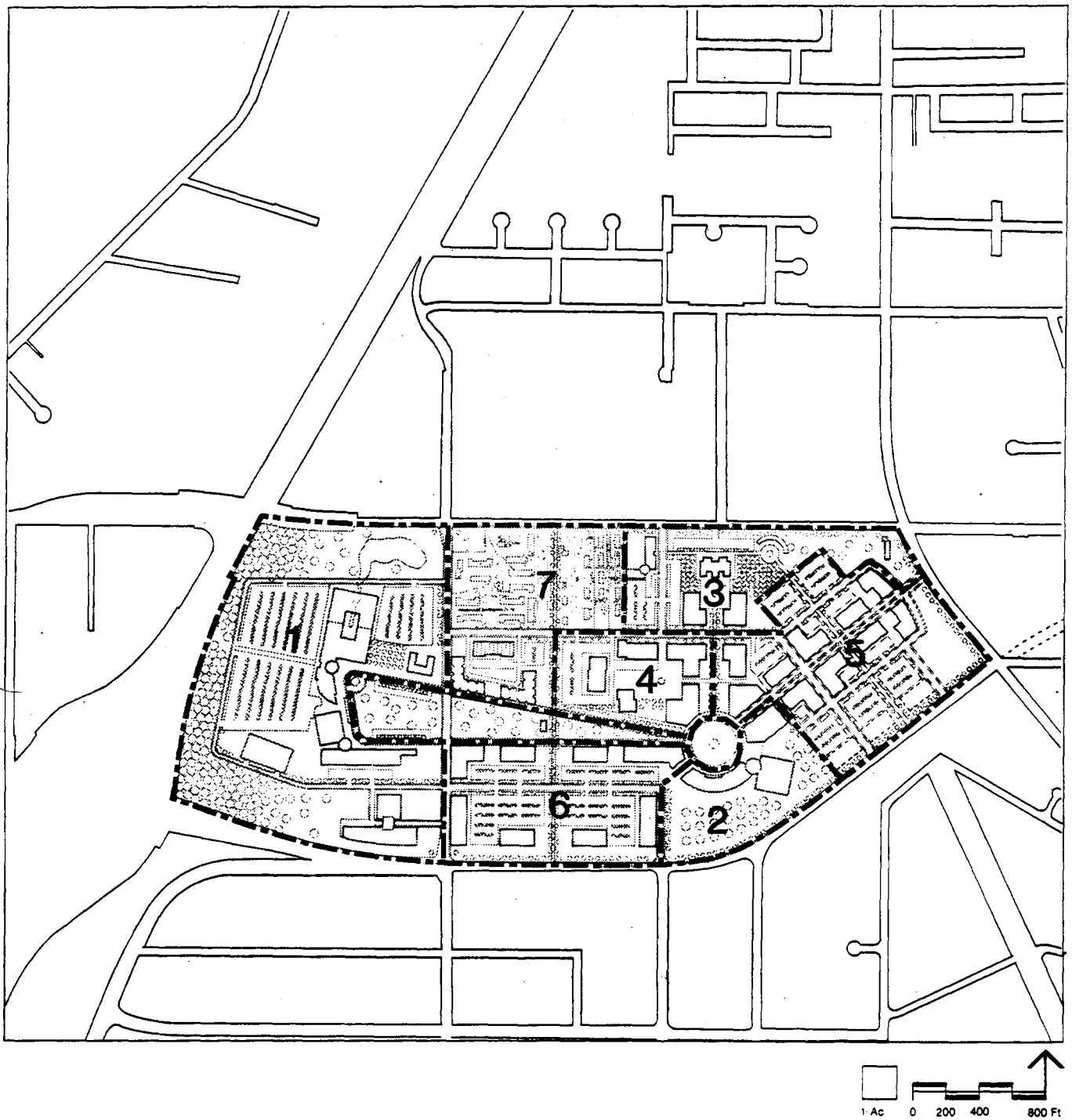

DESIGN GUIDELINES

The design quality of the Tumwater Campus must reflect the vision for its mixed-use, town center, community-service functions. Design guidelines offer a basis for design review decisions that implement the Campus Plan concept and encourage better and more consistent site planning and building design. They incorporate flexibility to meet Campus design objectives while responding to changing conditions. Finally, the guidelines facilitate communications among all principal interests to mitigate problems and find innovative development solutions.

While the Concept Plan for the Campus describes a Campus vision, the following design guidelines provide more detail for the realization of this vision. The Campus will be realized as the sum of a potentially wide range of interests and conditions. These varied interests likely will not create identical visions of how the plan should be carried out. Rather, through the implementation of design guidelines, significant and universal qualities of the plan can be established.

The design guidelines are divided into categories: buildings, landscape, roads, and transit.

- ▶ **Buildings.** Building development should promote diversity in individual projects, yet respect adjacent structures. Special spaces are intended to be created by grouping buildings in a number of different ways. Buildings should be designed to be a minimum of 30 percent more energy efficient than required by the state energy code. Water conservation measures should also be incorporated in buildings and landscaped areas.
- ▶ **Landscape.** The landscape of the Campus is a critical organizing ingredient, ranging from the natural to the urban.
- ▶ **Roads.** Safety and accessibility are basic requirements. Encouraging improved transit use is most critical. The circulation hierarchy is directly linked with land use and density to create a distinct Campus pattern.
- ▶ **Transit.** Transit is specifically addressed in the guidelines. Alternatives to the single-occupant car must be planned for and are in fact key design elements in the plan.

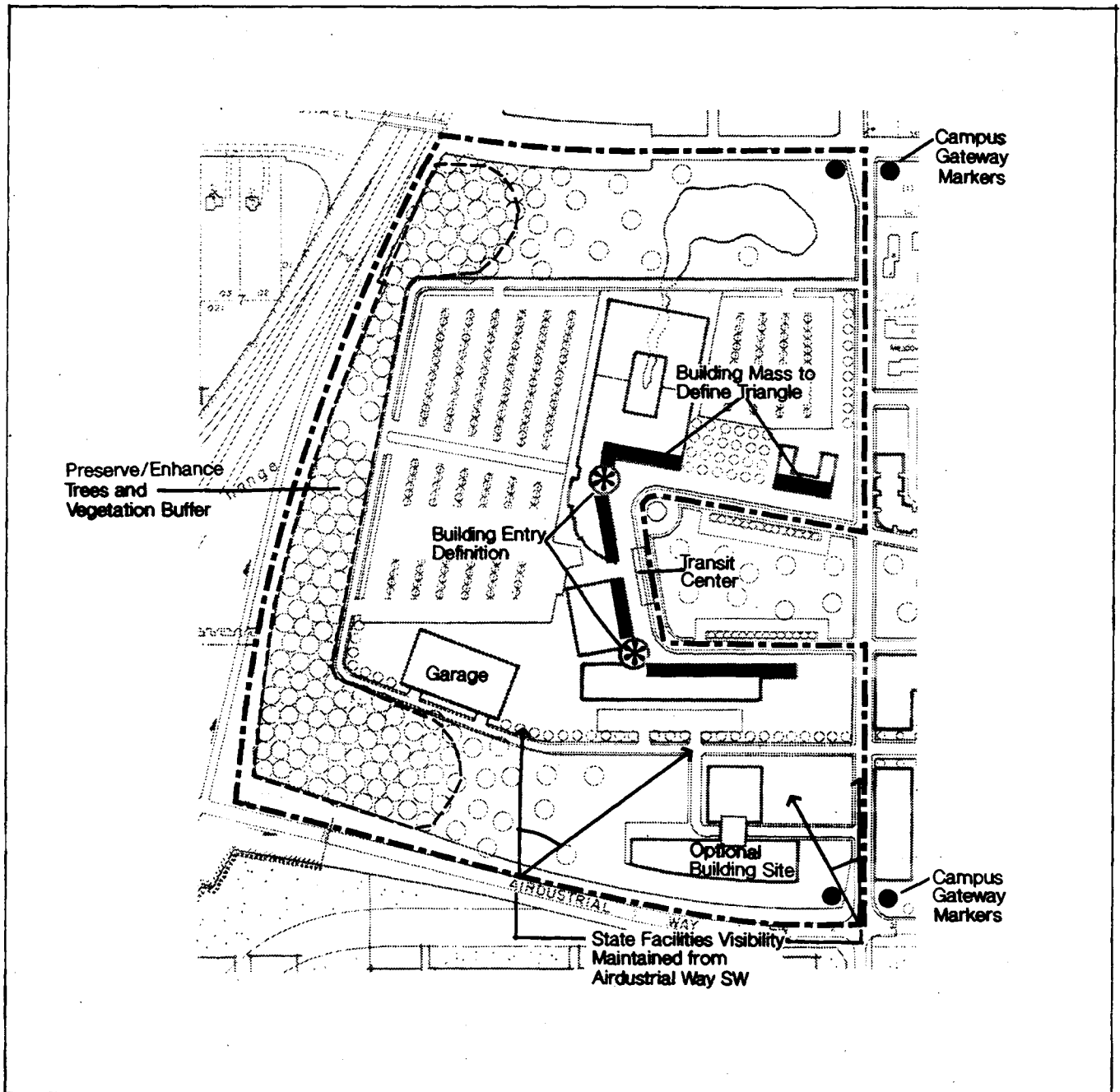


DEFINITION OF AREAS
Tumwater Campus Plan

For each guideline category, the design intent is described in text and graphics. Each category is further divided to focus on individual locations within the Turnwater Campus, such as the state building sites or the Triangle open space or the boulevard road system.

In general, the design guidelines are intended to assure the orderly development of private and public mixed uses in order to create a special urban place for people.

Seven different areas within the Campus are defined to guide building development. Each area is unique in the way buildings are envisioned to be developed. The following section explains the design intent for each area and details guidelines for use, building placement, structure height, parking, and overall character. A graphic highlights the key design elements for each building area. All guidelines, when applied to individual projects, are subject to design review by the Capitol Campus Design Advisory Committee. Note that exceptions to the guidelines may be allowed. For example, height limits may be exceeded for special landmark features, such as clock towers or cupolas.



AREA 1

INTENT The design goals of this area are to appropriately distinguish key state facilities, to "anchor" the western end of the *Triangle* open space, and to provide visibility and an attractive face for the Tumwater Campus from Interstate 5.

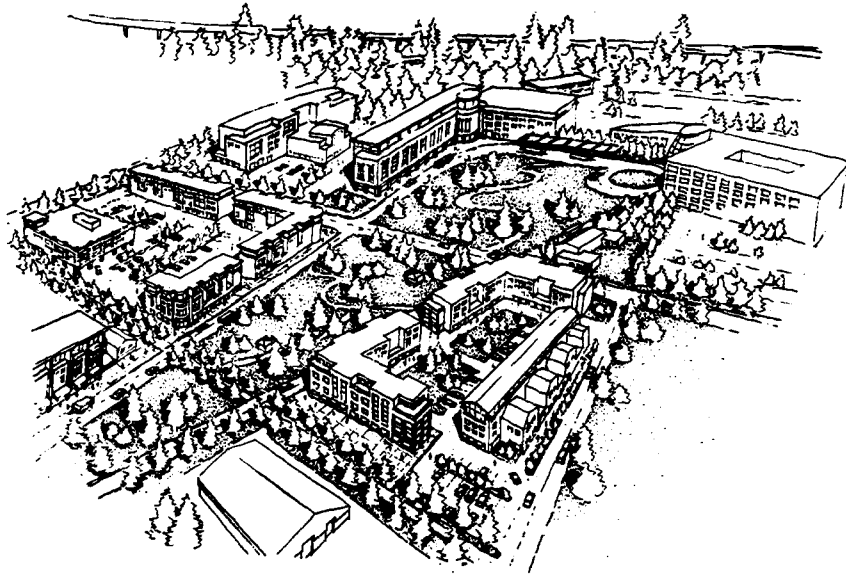
USE State facilities, and a contingent private use, as discussed below.

PLACEMENT Area 1 surrounds the west end of the *Triangle* and building development is critical in determining its spatial quality. Setbacks of buildings from the *Triangle* roadway edge shall be a maximum of ten feet. A variation to building siting is shown at Airdustrial Way S.W. and Linderson Way, which is dependent upon the timing of the tank farm relocation, and requirements of the initial state building, which is likely to be DIS. If the state facility has less site need, then a private or another state structure may occupy the site to the south. The siting and program of this additional structure shall be subject to Capitol Campus Design Advisory Committee review. Placement shall be such that these buildings provide significant enclosure and definition of the edge of the *Triangle* open space. Their siting should also enable visibility of the building fronting the *Triangle* from Airdustrial Way S.W. The Child Development Center shall occupy space on the northwest corner of Linderson Way and the northern *Triangle* roadway. Building elevations shall front no less than eighty percent of the property line facing the *Triangle*. Parking structures shall be placed between the occupied buildings and the boundary road buffer. No vehicular access shall occur from the *Triangle* between the buildings. Spaces between buildings should be made such that they can support a variety of public uses, such as park or garden space, plazas or courtyards.

HEIGHT Building heights for Area 1 shall be a minimum of 45 feet and a maximum of 85 feet.

AREA 1**CHARACTER**

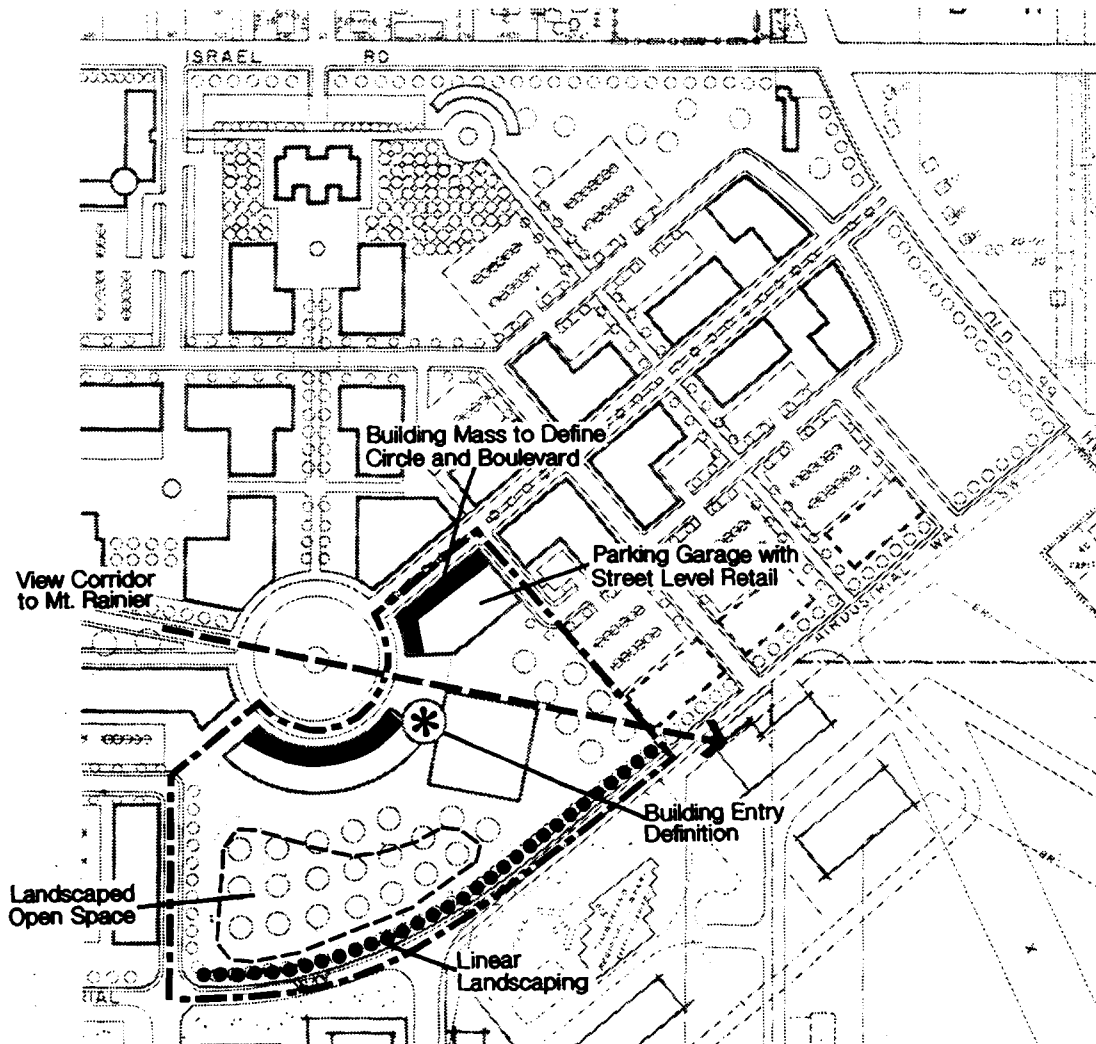
Facades onto the *Triangle* shall promote an urban character. The building facade of the ground floor within view of the *Triangle* shall include windows and overhead protection. The use of blank walls (such as concrete cinder block) without facade ornamentation is not permitted. Building materials such as brick, masonry, glass, tile, stone, or wood is required on the building facade. Uninterrupted glass curtain walls and mirrored glass are not permitted.



VIEW SOUTHWEST FROM THE VOCATIONAL SKILLS CENTER TO STATE BUILDINGS

AREA 1**PARKING**

Structured parking is required to accommodate the majority of additional parking needs in this area. Existing surface parking will remain. A new garage site is identified. Design of small areas of parking, separated by landscaped visual barriers, is encouraged. Design of large, unbroken expanses of parking shall be avoided. A minimum of 10 percent of parking areas shall be devoted to plantings and landscaping, which shall not be limited to the perimeter of the parking areas. Parking structures shall be effectively buffered from view from the *Triangle*. New state facilities shall provide structured parking to be located to the rear of any new buildings. Because existing parking will be displaced with the creation of the *Triangle*, a maximum of 30 short-term visitor parking spaces will be provided within the *Triangle*. These spaces are intended to be readily accessible to the front doors of the two state facilities. These spaces will be located along the perimeter of the *Triangle* in two areas: just south of the Child Development Center; and directly south of that, across the *Triangle*. These parking areas shall be screened from view from both within and from outside the *Triangle*. The screen will be vegetative, and will enhance the form of the *Triangle* along its edge through use of medium to large trees. Additional short-term parking is located to the east of Labor and Industries. Longer-term parking (i.e. for employees) is located to the west, both in surface lots and the proposed garage.



AREA 2

INTENT The design intent of this building area is to create landmark state facilities that also relate to development to the north and east. Built forms should define the edge of the *Circle* as one of the Campus' major civic open spaces. A landscaped campus presence along Airdustrial Way S.W. is also sought.

USE State facilities

PLACEMENT Buildings in Area 2 are located around the southern edge of the *Circle*. The envisioned state buildings facing *Main Street* and the *Circle* should reinforce the Campus' urban character. Primary pedestrian entrances to the buildings shall be from the *Circle* and *Main Street*. Building setbacks shall be no more than fifteen feet from the right of way. Spaces between buildings should be made such that they support a variety of public uses, such as park or garden space, plazas or courtyards. Buildings that are set back from the *Circle* should provide hard-surfaced open space contiguous with and of the same materials (i.e. brick, stone) as the adjacent walk.

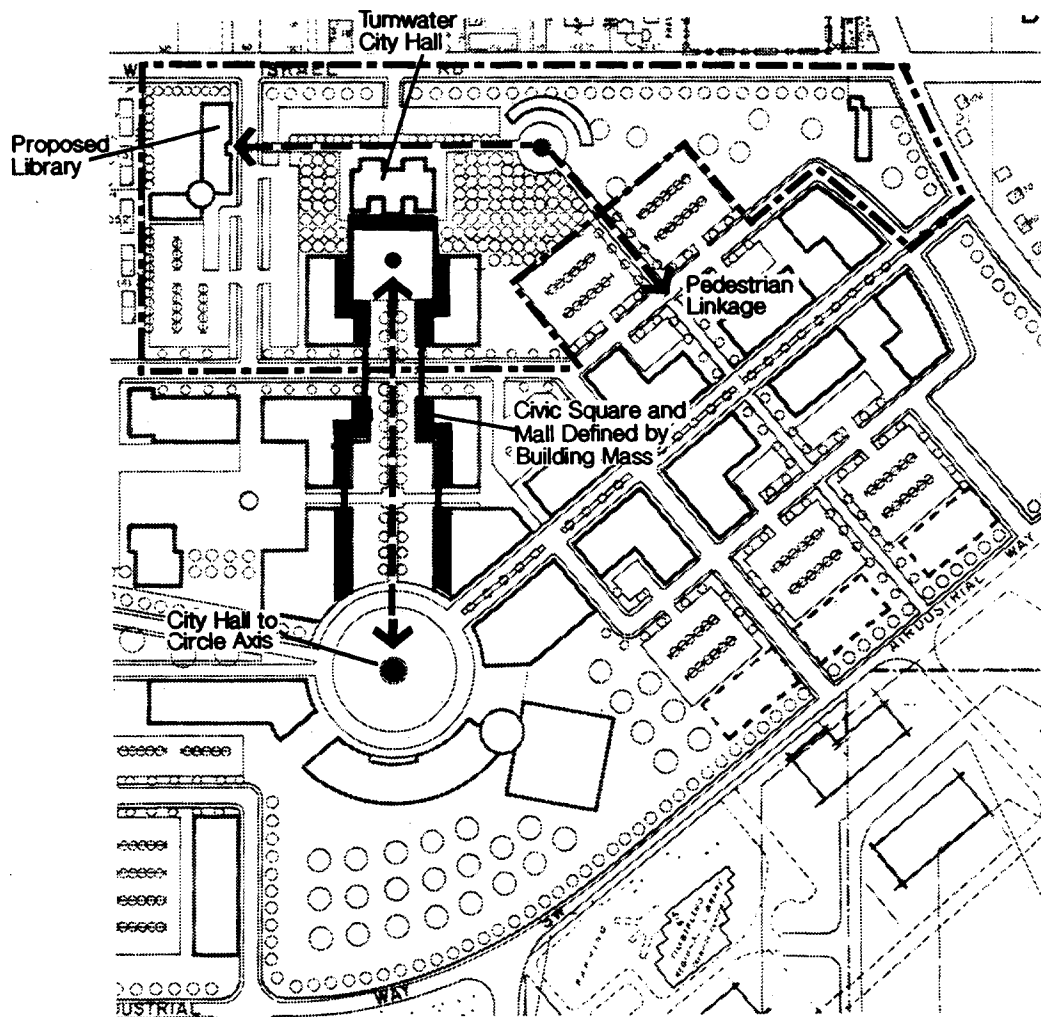
HEIGHT Buildings shall be a minimum of 45 feet and a maximum of 85 feet.

AREA 2**CHARACTER**

The state buildings of the Tumwater Campus will support, through their massing and spatial proportions, an urban organization of buildings and open spaces. Those state buildings that are adjacent to *Main Street* and the *Circle* should define the *Circle* as the Campus' civic center. These buildings should also form smaller open spaces that will each take on their own character. The building facade of the ground floor within view of *Main Street*, the *Circle*, or *Triangle* shall include windows and overhead protection. The building facade which orients north in line with City Hall should acknowledge that civic building. The use of blank walls of concrete cinder block and without facade ornamentation is not permitted. Building materials such as brick, masonry, glass, tile, stone, or wood is required on the building facade. Uninterrupted glass curtain walls and all-mirrored glass are not permitted.

PARKING

Parking in Area 2 shall be primarily accommodated by a structured parking garage. If this structure is located within thirty feet of either *Main Street* or the *Circle* edge, it shall provide ground level retail frontages. If the structure fronts the *Circle* or *Main Street*, setbacks shall be no more than 15 feet from the right-of-way in order to define the spaces. Otherwise, the structure will be effectively buffered from view from *Main Street* and the *Circle* with landscaping. Design of small areas of parking, separated by landscaped visual barriers, is acceptable. Design of large, unbroken expanses of parking shall be avoided. A minimum of 10 percent of parking areas shall be devoted to plantings and landscaping, which shall not be limited to the perimeter of the parking areas. No access to parking areas shall be directly from the *Circle* or *Main Street*.



AREA 3**INTENT**

Civic buildings on the Tumwater Campus represent one of the primary elements of its spatial organization. Their role in the physical and administrative functioning of the Campus is fundamental. The civic buildings of the Campus will support a structured urban organization of buildings and open space. Their character should reflect permanence and public accessibility and establish distinguishable landmarks.

USE

Administration of the City of Tumwater and other public community service uses.

PLACEMENT

Civic buildings shall define the open space corridor, or *Civic Mall*, that begins at the *Circle* and ends at the Tumwater City Hall. These civic buildings should create, through their placement, an urban *Civic Square* in front of City Hall and provide a pedestrian focal point. Their facades should emphasize the importance of the *Civic Square* and the *Civic Mall*. The library, as indicated on the plan, shall relate to the Pedestrian Way fronting City Hall which terminates at the library site. The Area 3 graphic identifies several alternatives for the location of the library, which could relate more significantly to the civic center of Tumwater. City buildings' ground floor entrances shall be oriented to the *Civic Square*. Spaces between buildings should be created to support a variety of public uses, such as parks or garden space, plazas or courtyards. Service functions should be oriented away from the *Civic Mall* and the *Civic Square*.

HEIGHT

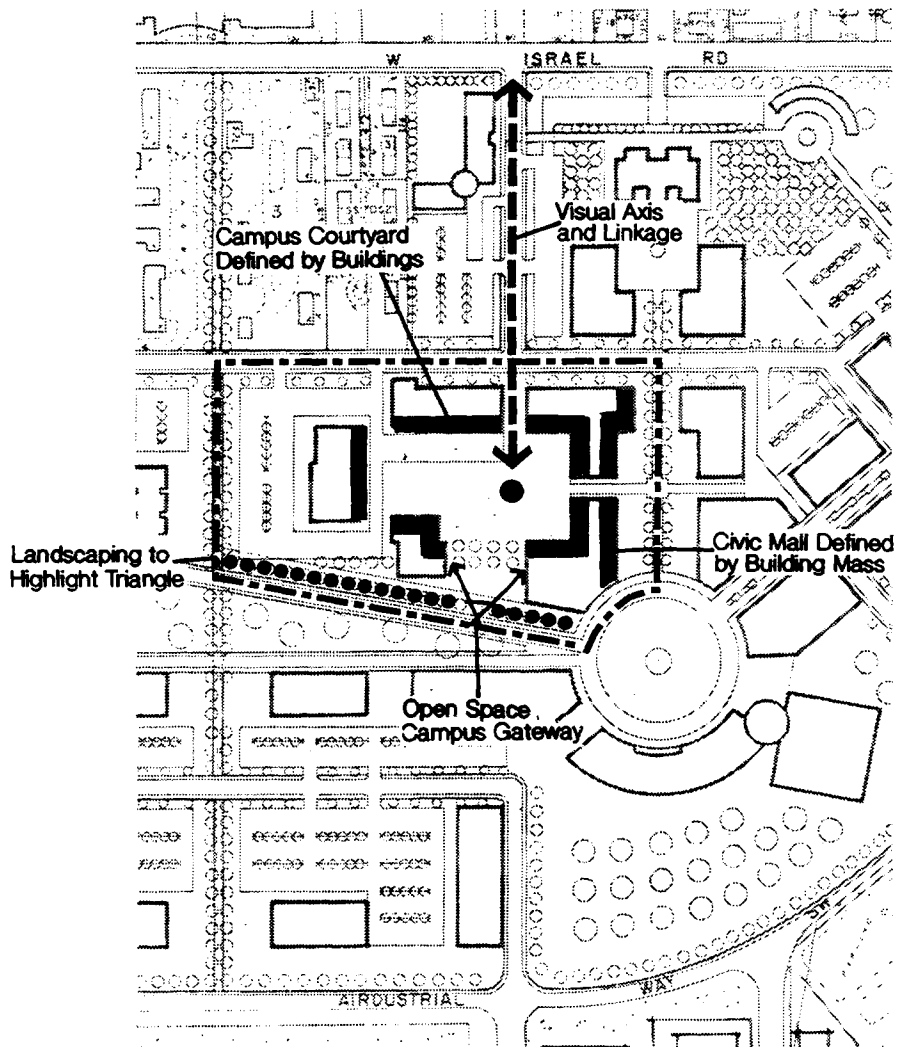
The Tumwater Campus civic buildings shall be a minimum of 30 feet and a maximum of 65 feet in height. Exceptions may be allowed for landmark features such as clock towers or cupolas that relate to the defined view axis.

AREA 3**CHARACTER**

The building facade of the ground floor facing the *Civic Square* shall include windows and overhead protection. The use of blank walls (such as concrete cinder block) without facade ornamentation is not permitted. Building materials such as brick, masonry, glass, tile, stone, or wood is required on the ground floor of building facades. Uninterrupted glass curtain walls and all-mirrored glass are not permitted.

PARKING

Parking shall be effectively buffered from view from the *Triangle* and the *Civic Mall*. Existing parking for City Hall, located along Israel Road and New Market Street, shall be maintained. Additional parking for future civic buildings should be placed to the rear of those buildings, away from the civic square, without sacrificing convenience or safety. No driveways shall cross the Pedestrian Way. Design of small areas of parking, separated by landscaped visual barriers, is encouraged. If required, structured parking may be utilized if not readily visible from public open spaces. Design of large, unbroken expanses of parking shall be avoided. A minimum of 10 percent of all parking areas shall be devoted to plantings and landscaping, which shall not be limited to the perimeter of the parking areas.



AREA 4

INTENT The design of the buildings of Area 4 should support an educational campus within the Turnwater Campus. An distinguish character should pervade these buildings. Their character should reflect permanence and establish recognizable landmarks.

USE Educational and civic use

PLACEMENT In Area 4, existing and future buildings shall define a Campus courtyard, which would provide an outdoor pedestrian focal point for the New Market Skills Center. The relocation of the Skills Center auto facility from the proposed *Triangle* right-of-way could initiate the courtyard formation, as shown in the Area 4 graphic. Future buildings would locate east of the existing and relocated Skills Center facilities. These buildings shall complete the courtyard and define the *Civic Mall* and *Circle*. Primary entries to these buildings shall be located on facades facing the *Civic Mall* and/or *Circle* open spaces.

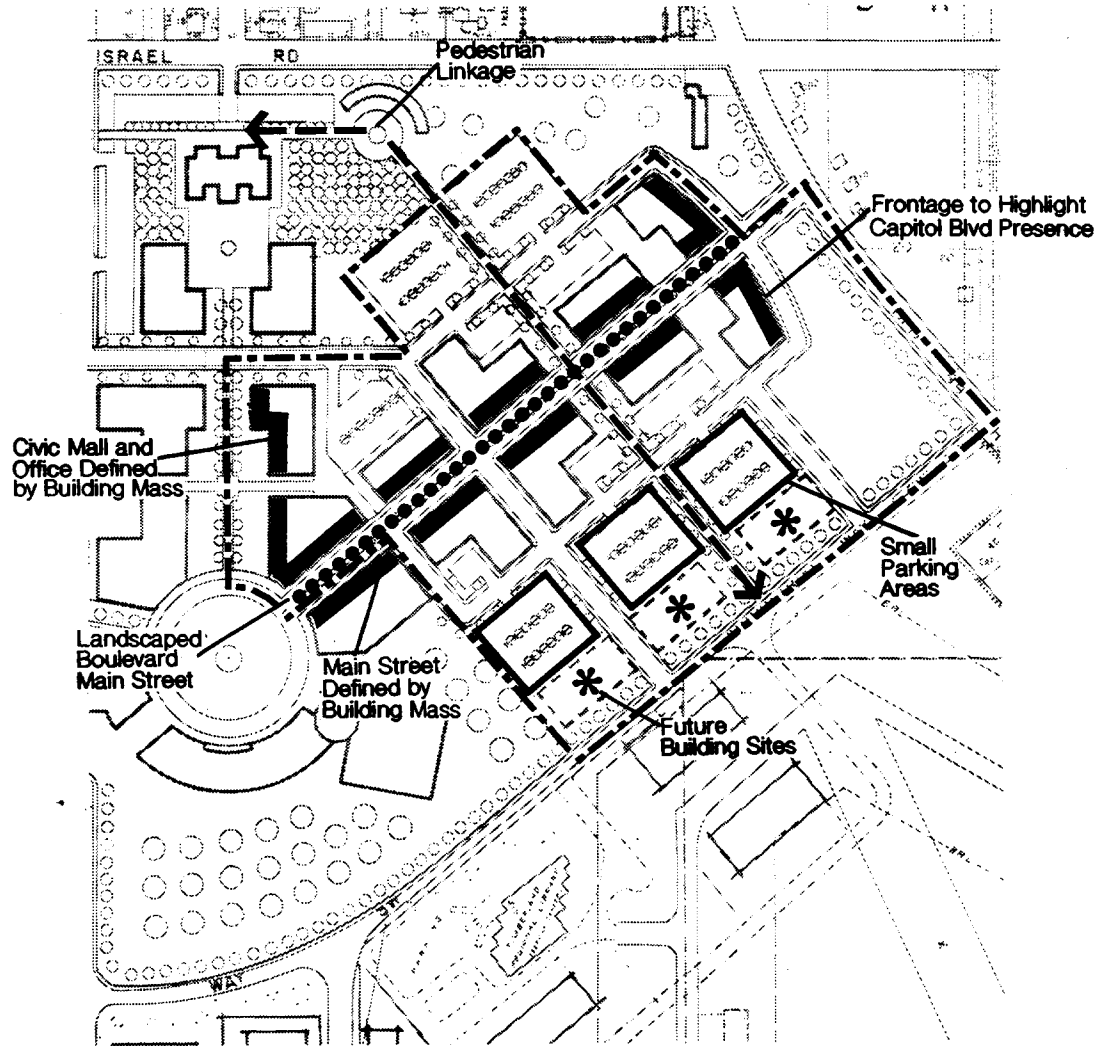
HEIGHT Buildings fronting the *Civic Mall* shall be a minimum of 40 feet and a maximum of 65 feet in height. Other Skills Center buildings shall be no less than 25 feet and no more than 50 feet in height. Taller landmark features may be permitted.

AREA 4**CHARACTER**

Facades of Skills Center and other civic buildings facing the *Civic Mall* should emphasize the importance of that axis as a significant civic open space. All of the Skills Center buildings of the Campus should support the academic courtyard. The building facade of the ground floor facing the *Civic Mall* and the *Triangle* shall include windows and overhead protection. The use of blank walls (such as concrete cinder block) without facade ornamentation is not permitted. Building materials such as brick, masonry, glass, tile, stone, or wood is required on the first floor of all building facades. Uninterrupted glass curtain walls and all-mirrored glass are not permitted.

PARKING

Parking for the Skills Center shall be primarily located along the pedestrian path, and away from the *Civic Mall* and *Circle*. A landscaped screening buffer of at least five feet in height shall be located along the entire length of the parking area adjacent to the pedestrian path. A new access road will link the right-of-way to the Skills Center Auto Facility, as shown in the Area 4 graphic. In general, design of small areas of parking, separated by landscaped visual barriers, is encouraged. Structured parking may be utilized if not readily visible from public open spaces. Design of large, unbroken expanses of parking shall be avoided. A minimum of 10 percent of parking areas shall be devoted to plantings and landscaping, which shall not be limited to the perimeter of the parking areas. Parking structures shall be effectively buffered from view from the *Triangle*.



AREA 5

- INTENT** In Area 5, a tree-lined boulevard, defined by retail/commercial structures, will establish a *Main Street* traditional town center character. The district should further reinforce a downtown main street character through its vegetation, lighting, furniture, physical proportions, and services provided.
- USE** Commercial/retail use
- PLACEMENT** Area 5 buildings facing the *Circle* or *Main Street* should reinforce an urban downtown character. Their primary entrances shall be from *Main Street* or the *Circle*. The building facade on the ground floor on *Main Street* shall include windows and overhead protection. Setbacks of those buildings shall be no more than five feet from the right of way. Spaces between buildings should be created to support a variety of public uses, such as parks or garden space, plazas or courtyards. Future buildings located along Airdustrial Way S.W. must provide facades to that road that reinforce the character of Area 5 and provide pedestrian frontage and access equal to the primary facades of other Area 5 buildings. Buildings fronting *Main Street* shall all be developed before any additional buildings are located along Airdustrial Way S.W..
- HEIGHT** Buildings along *Main Street* or on the *Circle* shall be a maximum of 45 feet. Buildings along Airdustrial Way S.W. shall be a minimum of 30 feet and a maximum of 60 feet. Buildings along the *Civic Mall* shall be a minimum of 40 feet and a maximum of 65 feet. The width of the *Main Street* should be proportionate to the adjacent buildings and satisfy functional traffic needs.

AREA 5**CHARACTER**

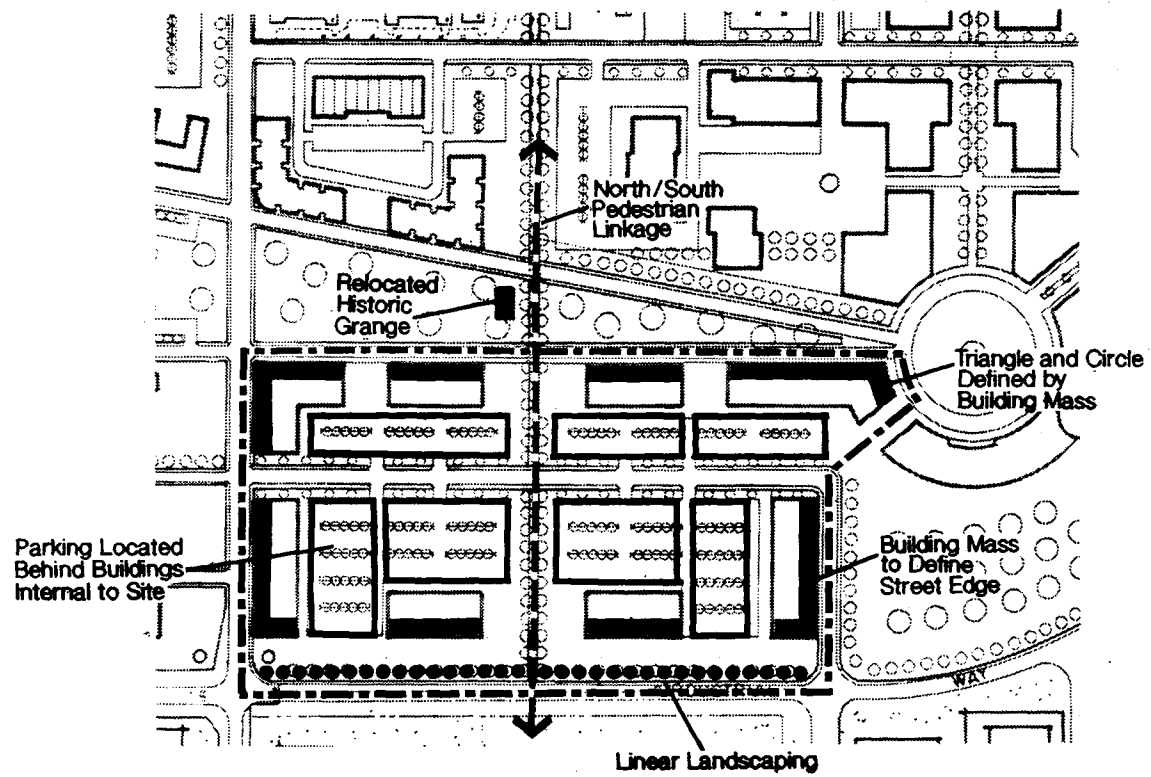
In Area 5, commercial buildings will define a new but traditional *Main Street* town center. The buildings should define the urban quality of the *Boulevard*, promoting a vehicular and pedestrian linkage between *Capitol Boulevard* and the *Circle*. Along the *Civic Mall* and the *Circle*, buildings should define these open spaces. All buildings facing *Main Street*, the *Circle*, and the *Civic Mall* shall include windows and overhead protection. Where appropriate, buildings should also form smaller open spaces which will each take on their own character. The use of blank walls [such as concrete cinder block] without facade ornamentation is not permitted. Building materials such as brick, masonry, glass, tile, stone, or wood is required on the building facade. Uninterrupted glass curtain walls and all-mirrored glass are not permitted.



VIEW FROM "MAIN STREET" LOOKING WEST TO CIRCLE AND STATE BUILDING

AREA 5**PARKING**

All parking in this commercial area shall be located behind buildings. No driveways to parking areas shall be directly from the *Circle* or the *Boulevard*. Design of small areas of parking, separated by landscaped visual barriers, is encouraged. Otherwise, structured parking may be utilized, if not readily visible from public open spaces. Design of large, unbroken expanses of parking shall be avoided. A minimum of 10 percent of parking areas shall be devoted to plantings and landscaping, which shall not be limited to the perimeter of the parking areas. Parking structures shall be effectively buffered from view from the *Circle* and the *Boulevard* or have ground-level retail commercial services facing the pedestrian street. They should follow the restrictions governing other Area 5 buildings facing *Main Street*.



AREA 6

INTENT In Area 6, buildings should provide commercial and retail services, and potentially state facilities, that complement the Campus. These buildings should reinforce the importance of the *Triangle* and the *Circle* as significant community open spaces.

USE Mixed-use, commercial and retail, and, potentially, state facilities

PLACEMENT Buildings are located at the perimeter with parking at the center of the subarea. Buildings along the *Triangle* shall have their primary entrances facing this open space. These buildings shall be located no more than five feet from the right-of-way. Buildings fronting Airdustrial Way S.W. shall be set back a minimum of 20 feet and a maximum of 30 feet to allow for a green buffer between Airdustrial Way S.W. and the Campus. Spaces between buildings should be made such that they support a variety of public uses, such as park or garden space, plazas or courtyards.

HEIGHT For Area 6, buildings along the *Triangle* or on the *Circle* shall be a minimum of 40 feet and a maximum of 65 feet. Buildings along Airdustrial Way S.W. shall be a minimum of 30 feet and a maximum of 65 feet.

AREA 6**CHARACTER**

The facades of those buildings on the *Circle* and on the *Triangle* should emphasize the importance of both the *Circle* as a terminus to the *Triangle* and the urban quality of the Campus itself. These buildings should also form smaller open spaces that will each take on their own character. Buildings located along Airdustrial Way S.W. must provide facades to the road that reinforce the character of the Campus. The development should not have the character of an auto-oriented, commercial strip mall. The use of blank walls (such as concrete cinder block) without facade ornamentation is not permitted. Building materials such as brick, masonry, glass, tile, stone, or wood are required on the ground level of buildings. Uninterrupted glass curtain walls and all-mirrored glass are not permitted.

PARKING

Design of small areas of parking, separated by landscaped visual barriers, is encouraged. Otherwise, structured parking may be utilized, if not readily visible from public open spaces. Design of large, unbroken expanses of parking shall be avoided. A minimum of 10 percent of parking areas shall be devoted to plantings and landscaping, which shall not be limited to the perimeter of the parking areas. Parking structures shall be effectively buffered from view from the *Triangle* and the *Circle* or have ground-level retail commercial services facing the pedestrian street and follow the restrictions governing the other Area 6 buildings facing the *Triangle* and *Circle*. No access to parking areas shall be directly from the *Circle* or the *Triangle*. A new east/west access road is provided. The north/south pedestrian corridor must be established through the parking area.